

ADDENDUM – 1

April 9, 2024

PAWTUCKET HOUSING AUTHORITY Galego Court Stair Tower Replacement

Project Site:

483 Weeden Street, Pawtucket, RI 02860

The following changes, modifications, and clarifications are hereby made to the plans and specifications for the above referenced project.

- Item 1: The item quantity on the Bid Proposal for all bid items remains thirty-two (32) as the project is to include **all** stair towers. Additionally, a \$75,000 site allowance has been added as bid item 2.05 to be used as necessary for out-of-scope work at discretion of the PHA and Engineer.
- Item 2: The Contract Agreement and Information to Bidders have been updated to state the contractor shall have five-hundred and thirty-two (532) calendar days to complete this project. This schedule allows for fourteen (14) calendar days of work per stair tower and includes twelve (12) weeks for inclement weather down-time during the life of the project.
- Item 3: Section 01150 Measurement and Payment Bid Item 2.03 Furnish and Install New Alum. Stairs has been updated to include installation of an exterior wall light and clarified the new alum. stairs are to include a canopy over the landing platform at the point of egress.
- Item 4: Bid item 2.04 Furnish and Install Awning Support has been updated to include the following; as part of this work the contractor shall finish the exposed roof awning section with new ½" exterior grade OSB plywood sheathing and finish with AZEK trim, the contractor shall remove and relocate the existing 2x4 roof rafter as needed so the new finish detail does not extend beyond the overhang of existing asphalt shingles. We have included detail from the original design plan of the existing awning for the contractor's reference.
- Item 5: The Summary of Work has been revised to include the installation of an exterior mounted wall light, clarify the existing awning finish detail and to include the required canopy over the aluminum stair landing platform.
- Item 6: Section 01300 Submittals Part 1.08 Submittals List has been updated to include the exterior wall mounted light and building permit.

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Project Number: 18462

Item 7: Sheet C102 of the Design Plans have been updated to include changes to the scope of work as described in this addendum.

We have attached the following revised documents as part of this Addendum:

1. Contract Agreement
2. Information to Bidders
3. Bid Proposal
4. Measurements and Payments
5. Summary of Work
6. Submittals
7. Design Plan Sheet C102
8. Original Design Plan Detail of Existing Awning
9. PLT-12617 Exterior Wall Pack Specifications
10. Pre-Bid Sign in Sheet

CONTRACT AGREEMENT

*Pawtucket Housing Authority
Galego Court Stair Tower Replacement
Pawtucket, Rhode Island*

Agreement - 1

AGREEMENT

THIS AGREEMENT, made this _____ day of _____, 2024 by and between The Pawtucket Housing Authority, hereinafter called "OWNER" and _____ doing business as (an individual), or (a partnership), or (a corporation) hereinafter called "CONTRACTOR."

WITNESS TO: that for and in consideration of the payments and agreements hereinafter mentioned;

1. The CONTRACTOR will commence and complete the **Pawtucket Housing Authority Galego Court Stair Tower Replacement Project**.
2. The CONTRACTOR will furnish all of the material, supplies, tools, equipment, labor and other services necessary for the construction and completion of the PROJECT described herein.
3. The CONTRACTOR will commence the work required by the CONTRACT DOCUMENTS within 10 calendar days after the date of the NOTICE TO PROCEED and will complete the project within 532 calendar days unless the dates for completion are extended otherwise by the CONTRACT DOCUMENTS or scope of work is redefined by the Owner.
4. The CONTRACTOR agrees to perform all the WORK described in the CONTRACT DOCUMENTS and comply with the terms therein for the amount of \$ _____ as shown in the Bid Schedule.
5. The term "CONTRACT DOCUMENTS" means and includes the following:
 - A. REQUEST FOR BIDS
 - B. INFORMATION TO BIDDERS
 - C. BID PROPOSAL
 - D. FORM OF BID BONDS
 - E. PROPOSED SUBCONTRACTORS
 - F. STATEMENT OF EXPERIENCE
 - G. CONTRACT AGREEMENT
 - H. FORM OF PAYMENT BOND
 - I. FORM OF PERFORMANCE BOND
 - K. NOTICE OF AWARD
 - L. NOTICE TO PROCEED
 - GC GENERAL CONDITIONS
 - SC SPECIAL CONDITIONS
 - PW PREVAILING WAGE SHEET
 - HD HUD DOCUMENTS CONTAINED IN BID SPECIFICATIONS

Drawings and Technical Specifications prepared or issued by Verdantas, LLC dated April 2024.

Addenda:

No.	Dated	2024
No.	Dated	2024

6. The OWNER will pay the CONTRACTOR in the manner and at such times as set forth in the General Conditions such amounts as required by the Contract Documents.
7. Retention from progress payments will be in accordance with the requirements stipulated in the General Conditions.

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8. This Agreement shall be binding upon all parties hereto and their respective heirs, executors, administrators, successors and assigns.

IN WITNESS WHEREOF, the parties hereto have executed, or caused to be executed by their duly authorized officials, this Agreement in (Quadruplicate copies) each which shall be deemed an original on the date first above written.

OWNER: _____

BY: _____

NAME:

TITLE:

(SEAL)
WITNESS: _____

NAME: _____

TITLE: _____

CONTRACTOR: _____

BY: _____

NAME: _____

ADDRESS: _____

(SEAL)
WITNESS: _____

NAME: _____

TITLE: _____

INFORMATION TO BIDDERS

*Pawtucket Housing Authority
Galego Court Stair Tower Replacement
Pawtucket, Rhode Island*

Information to Bidders - 1

INFORMATION TO BIDDERS

1. RECEIPT AND OPENING OF BIDS
2. PREPARATION OF BID
3. TELEGRAPHIC MODIFICATION
4. CORRECTIONS
5. WITHDRAWAL OF BIDS
6. QUALIFICATIONS OF THE BIDDER
7. OBLIGATIONS OF THE BIDDER
8. CONDITIONS OF WORK
9. INFORMATION SUPPLIED TO BIDDERS
10. BID SECURITY
11. METHOD OF AWARD
12. EXECUTION OF THE AGREEMENT
13. LIQUIDATED DAMAGES FOR FAILURE TO ENTER INTO CONTRACT
14. NOTICE TO PROCEED
15. TIME OF COMPLETION AND LIQUIDATED DAMAGES
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17. ADDENDA AND INTERPRETATIONS
18. NOTICE OF SPECIAL CONDITIONS
19. LAWS AND REGULATIONS
20. MANUFACTURER'S EXPERIENCE
21. ACCESS TO SITE
22. SOIL BORINGS
23. RHODE ISLAND SALES AND USE TAX
24. JOB CONDITIONS
25. PRECONSTRUCTION CONFERENCE
26. LABOR REGULATIONS
27. PRE BID CONFERENCE

ARTICLE 1: RECEIPT AND OPENING OF BIDS

Sealed Bids for the work will be received and opened at the time and place indicated in the ADVERTISEMENT FOR BIDS.

Each Bid must be submitted in duplicate in a sealed envelope addressed to Pawtucket Housing Authority, 214 Roosevelt Avenue, Pawtucket RI 02860 and clearly labeled "**Pawtucket Housing Authority, Galego Court Stair Tower Replacement Project**" and bear the Title, Date and Time of Opening in the lower left corner. The envelope shall also bear the name and address of the Bidder.

If forwarded by mail, the sealed envelope containing the Bid must be enclosed in a second sealed envelope addressed to the Pawtucket Housing Authority, 214 Roosevelt Avenue, Pawtucket RI, 02860 and labeled "**Pawtucket Housing Authority, Galego Court Stair Tower Replacement Project**" as above. All bids forwarded by mail must be received in the office of PHA no later than 11:00 A.M. **April 17, 2024.**

The Owner may consider informal any bid not prepared and submitted in accordance with the provisions hereof and may waive any informality in or reject any and all bids. Conditional or qualified bids will not be accepted. Any bid received after the time and date specified shall not be considered. Should there be reasons why the Contract cannot be awarded within the specified period; the time may be extended by mutual agreement between the Owner and the bidder.

ARTICLE 2: PREPARATION OF BID

Each bid must be filled out on the prescribed forms. All blank spaces for bid prices must be filled in, in ink or typewritten, both in words and figures. All bids must be prepared in conformity with and shall be based on and submitted subject to all requirements of the Specifications and Drawings, together with all Addenda thereto. **All documents must be filled out and submitted with bid.** Incomplete bids will be rejected.

ARTICLE 3: TELEGRAPHIC MODIFICATION

Any bidder may modify his bid by telegraphic communication at any time prior to the scheduled closing time for receipt of bids, provided such telegraphic communication is received by the Owner prior to the closing time, and provided further, the Owner is satisfied that written confirmation of the telegraphic modification over the signature of the bidder was mailed and postmarked prior to the closing time.

The telegraphic communication should not reveal the bid price but should provide the addition or subtraction or other modifications so that the final prices or items will not be known by the Owner until the sealed bid is opened. If written confirmation is not received prior to the bid closing time, no consideration will be given to the telegraphic modification.

ARTICLE 4: CORRECTIONS

Erasures or other changes in the bid must be explained or noted over the signature of the bidder.

ARTICLE 5: WITHDRAWAL OF BIDS

Bids may be withdrawn only on written request dispatched by the bidder in time for delivery in

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the normal course of business prior to the time fixed for the opening, provided that written confirmation of any withdrawal over the signature of the bidder is placed in the mail and postmarked prior to the time set for the opening of the bids. Negligence on the part of the bidder in preparing his bid confers no right of withdrawal or modification of his bid after such bid has been opened. No bidder may withdraw his bid within ninety (90) days after the actual date of the opening thereof.

ARTICLE 6: QUALIFICATIONS OF THE BIDDER

The Owner may make such investigations as he deems necessary to determine the ability of the bidder to perform the work, and the bidder shall furnish to the Owner all such information and data for this purpose as the Owner may request. The Owner reserves the right to reject any bid if the evidence submitted by, or investigation of, such bidder fails to satisfy the Owner that such bidder is properly qualified to carry out the obligations of the Contract and to complete the work contemplated therein.

ARTICLE 7: OBLIGATIONS OF THE BIDDER

Bidders must satisfy themselves by personal examination at the site of the proposed work, by review of the Drawings and the Specifications including Addenda, and by such other means as they may prefer, as to the actual conditions, requirements, and limits of the proposed work, and as to the accuracy of the information and statements herein contained. The submission of any bid will be accepted by the Owner as satisfactory proof that the bidder has satisfied himself in these respects. The bidder shall not at any time after the submission of a bid dispute or complain of such statements or information, nor assert that there was any misunderstanding in regard to the nature, or amount of work to be done. The failure or omission of any bidder to examine any form, instrument or document shall in no way relieve the bidder of his obligation to furnish all materials and labor necessary to carry out the provisions of the Contract Documents and to complete the contemplated work for the considerations set forth in his bid, if his bid is accepted.

ARTICLE 8: CONDITIONS OF WORK

Insofar as possible, the Contractor, in carrying out his work, must employ such methods or means as will not cause any interruption of or interference with traffic, with the use of existing facilities and utilities, with the use of municipally or State or privately owned lands, or with the work being performed by others. The Contractor must satisfy himself by his own investigation and research as to the nature and location of the work, the general and local conditions, including, but not restricted to, those bearing upon the transportation, disposal, handling and storage of materials, water, electric power, roads, means of access, the construction and making of connections of the work to existing facilities and utilities, or other similar conditions at the site, the character of equipment and facilities needed preliminary to and during the prosecution of the work, requirements of owners and controlling authorities having jurisdiction over the various lands, existing structures, facilities and utilities, and all other conditions affecting the work to be done and labor and materials needed.

ARTICLE 9: INFORMATION SUPPLIED TO BIDDERS

The Owner shall provide to bidders prior to bidding all information that is pertinent to, and delineates and describes, the land owned and rights-of-way acquired or to be acquired.

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The Contract Documents contain the provisions required for the construction of the project. Information obtained from any officer, agent, or employee of the Owner or any other person shall not affect the risks or obligations assumed by the contractor or relieve him from fulfilling any of the conditions of the Contract. Any information given relating to subsurface and other conditions, natural phenomena, existing pipes and other structures is from the best sources available to the owner. All such information is furnished for the information and convenience of bidders and is not guaranteed.

ARTICLE 10: BID SECURITY

Each bid must be accompanied by a certified check of bidder, or a bid bond prepared on the form of bid bond attached hereto, duly executed by the bidder as principal and having as surety thereon a surety company approved by the Owner, in the amount of (5) Five (%) percent of the bid. Such checks or bid bonds will be returned to all but the selected bidder within three days after the Owner and the accepted bidder have executed the contract; or if no award has been made within 90 days after the date of the opening of the bids, upon demand of the bidder at any time thereafter, so long as he has not been notified of the acceptance of his bid. The check or bid bond of the successful bidder will be retained until the payment bond and performance bond have been executed and approved, after which it will be returned.

ARTICLE 11: METHOD OF AWARD

This contract will be awarded based on the lowest qualified bid, experience of the bidder, and most responsive bid that reflects the best product received by Pawtucket Housing Authority.

ARTICLE 12: EXECUTION OF THE AGREEMENT

A contract in the form set forth hereinafter will be required to be executed by the successful bidder and the Owner. The attention of all bidders, therefore, is called to the form of the Agreement and the provisions thereof. The party to whom the Contract is awarded will be required to obtain the performance bond and payment bond within ten (10) calendar days from the date when the Notice of Award is delivered to the bidder. The Notice of Award shall be accompanied by the necessary Agreement and bond forms. The Contractor shall furnish a performance bond and a payment bond, each in the amount of 100 percent of the Contract Price, with a corporate surety approved by the Owner, as security for faithful performance of Contract.

ARTICLE 13: LIQUIDATED DAMAGES FOR FAILURE TO ENTER INTO CONTRACT

The successful bidder, upon his failure or refusal to execute and deliver the Contract and bonds required within 10 days after he has received notice of the acceptance of his bid, shall forfeit to the Owner, as liquidated damages for such failure or refusal, the surety deposited with his bid.

ARTICLE 14: NOTICE TO PROCEED

The Notice to Proceed shall be issued within ten (10) days of the execution of the Agreement by the Owner. Should there be reasons why the Notice to Proceed cannot be issued within such period; the time may be extended by mutual agreement between the Owner and Contractor. If the Notice to Proceed

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has not been issued within the ten (10) day period or within the period mutually agreed upon, the Contractor may terminate the Agreement without further liability on the part of either party.

ARTICLE 15: TIME OF COMPLETION AND LIQUIDATED DAMAGES

The bidder must agree to commence construction work on the date specified in the written Notice to Proceed of the Owner and to fully complete the Project within **five-hundred-thirty-two (532) calendar days**. The Owner reserves the right to stop all work due to severe weather conditions, or other such conditions that may in his/her opinion interfere with the normal operation of the site and/or the safety of its occupants. The bidder must agree also to pay as liquidated damages, the sum of \$300.00 for each consecutive calendar day thereafter as hereinafter provided in the Contract and General Conditions.

ARTICLE 16: POWER OF ATTORNEY

Attorney-in-fact who sign bid bonds or contract bonds must file with each bond a certified and effectively dated copy of their power of attorney.

ARTICLE 17: ADDENDA AND INTERPRETATIONS

No interpretation of the meaning of the Drawings, Specifications, or other pre-bid documents will be made to any bidder orally. Every request for such interpretation should be in writing, addressed to Verdantas, LLC, 1005 Main Street, Suite #8120, Pawtucket, RI 02860; or via email to Roy Messier with Verdantas, LLC (rmessier@verdantas.com).

In order to be given consideration, such request must be made at least five- (5) workdays prior to the date fixed for the opening of bids. Any and all interpretations and any supplemental instructions will be in the form of written Addenda to the Specifications, which, if issued, will be transmitted electronically by email with return receipt requested to all prospective bidders, not later than three work days prior to the date fixed for the opening of bids. Failure of any bidder to receive any such addenda or interpretations shall not relieve the bidder from any obligation under his bid as submitted. All Addenda so issued shall become a part of the Contract Documents.

ARTICLE 18: NOTICE OF SPECIAL CONDITIONS

Attention is particularly called to those parts of the Contract Documents and Specifications that deal with the following:

- A. inspection and testing of materials
- B. insurance requirements
- C. wage rates
- D. interpretation of Drawings and Specifications

ARTICLE 19: LAWS AND REGULATIONS

The bidder's attention is directed to the fact that all applicable State laws, municipal ordinances and rules, and regulations of all authorities having jurisdiction over construction of the project shall apply to the Contract the same as though herein written in full.

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ARTICLE 20: MANUFACTURER'S EXPERIENCE

Wherever it may be written that an equipment manufacturer must have a specified period of experience with his product, equipment which does not meet the specified experience period may, at the option of the Owner, be considered if the equipment supplier or manufacturer is willing to provide a bond or cash deposit for the duration of the specified time period which will guarantee replacement of that equipment in the event of failure.

ARTICLE 21: ACCESS TO SITE

Representatives of the "OWNER" shall have access to the work wherever it is in preparation or progress and the Contractor shall provide proper facilities for such access and inspection.

ARTICLE 22: SOIL BORINGS

No Soil Borings for this Project

ARTICLE 23: RHODE ISLAND SALES AND USE TAX

Materials and equipment purchased for installation under this Contract are exempt from the Rhode Island Sales Tax. The exemption from the Sales Tax shall be taken into account by the Contractor during bidding.

ARTICLE 24: JOB CONDITIONS

The bidder is advised that free vehicular and pedestrian access must be maintained to the site at all times. The method of construction must be therefore compatible with this requirement of free access.

ARTICLE 25: PRECONSTRUCTION CONFERENCE

The Contractor shall be prepared to attend a pre-construction conference scheduled by the Owner after award of the Contract, but prior to the actual commencement of work at the site. The main item of discussion will be the Contractor's construction schedule, the proposed Superintendent, and access for residents.

ARTICLE 26: LABOR REGULATIONS

The following paragraphs regarding nondiscrimination in employment shall be included and become part of these Specifications:

- A. The Contract for work under this proposal will obligate the Contractor and Subcontractors not to discriminate in employment practices and conform to Executive Order No. 11246. The Contractor shall also comply with the Labor Standards Provisions for minimum wages and payroll certification.
- B. Bidders must, if required, submit a compliance report concerning their employment practices

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- and policies in order to maintain their eligibility to receive award of the Contract.
- C. Successful bidders must, if required, submit a list of all Subcontractors who will perform work on the project, and written signed statements from authorized agents of labor pools with which they will or may deal with for employees on the work, together with any information to the effect that such labor pools practices or policies are in conformity with Executive Order No. 11246; that they will affirmatively cooperate in or offer no hindrance to the recruitment, employment, and equal treatment of employment, and equal treatment of employees seeking employment and performing work under this Contract; or a certification as to when such agents or labor pools have failed or refused to furnish them, prior to award of the Contract.
 - D. Contractor shall be required to submit certified payroll documentation when request to certify that wages are in compliance with the current wage rate determination.

ARTICLE 27: PRE BID CONFERENCE

There will be a **non-mandatory** pre-bid conference on **April 8, 2024 at 11:00 AM**, at the Project Site, located at 483 Weeden Street, Pawtucket Rhode Island.

END OF INFORMATION TO BIDDERS

BID PROPOSAL

*Pawtucket Housing Authority
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Pawtucket, Rhode Island*

Bid Proposal - 1

BID PROPOSAL

Proposal of _____ (hereinafter "Bidder"), organized and existing under the laws of the State of _____ doing business as _____ * to Pawtucket Housing Authority (hereinafter called "OWNER"):

In compliance with our Advertisement for Bids, BIDDER hereby proposes to perform all work for the Pawtucket Housing Authority, Galego Court Stair Tower Replacement Project in strict accordance with the CONTRACT DOCUMENTS, within the time set forth therein, and at the prices stated below.

By submission of this BID, each BIDDER certifies, and in the case of a joint BID each party thereto certifies as to his own organization, that his BID has been arrived at independently, without consultation, communication, or agreement as to any matter relating to this BID with any other BIDDER or with any competitor.

BIDDER hereby agrees to commence WORK under this Contract within 10 days of issue of a Purchase Order and Notice to Proceed. The contractor shall provide estimated days required to complete the project.

BIDDER acknowledges receipt of the following ADDENDA:

ADDENDUM _____ DATED:

ADDENDUM _____ DATED:

ADDENDUM _____ DATED:

* Insert "a corporation", "a partnership", or "an individual" as applicable.

NOTE, THE BID PROPOSAL DOCUMENTS INCLUDE THE BID PROPOSAL FORM, BID FORM, LISTING OF PROPOSED SUBCONTRACTORS, AND STATEMENT OF CONTRACTORS EXPERIENCE

BID FORM

Note: The Price for each item must be written in words and figures

ITEM NO.	DESCRIPTION	ITEM QUANTITY	UNIT MEASURE	UNIT BID PRICE (\$0.00)	AMOUNT (QxP) (\$0.00)
1.	Temporary Fencing	32	EA	\$ _____	\$ _____
	Total Amount in words:			\$ _____	
2.	Demolition and Disposal of Existing Stair Tower	32	EA	\$ _____	\$ _____
	Total Amount in words:			\$ _____	
3.	Furnish and Install New Alum. Stairs	32	EA	\$ _____	\$ _____
	Total Amount in words:			\$ _____	
4.	Furnish and Install Awning Support	32	EA	\$ _____	\$ _____
	Total Amount in words:			\$ _____	
5.	Site Work Allowance	1	LS	\$ <u>75,000.00</u>	\$ <u>75,000.00</u>
	Total Amount in words:			\$ <u>Seventy-Five-Thousand-Dollars</u>	

TOTAL \$ _____

Words: _____

ADD ALTERNATE BID FORM

*Pawtucket Housing Authority
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Pawtucket, Rhode Island*

Note: The Price for each item must be written in words and figures

ITEM NO.	DESCRIPTION	ITEM QUANTITY	UNIT MEASURE	UNIT BID PRICE (\$0.00)	AMOUNT (QxP) (\$0.00)
1.	Furnish and Install New Alum. Canopy	32	EA	\$ _____	\$ _____
Total Amount in words:		\$ _____			

Bidder understands that the Owner reserves the right to reject any or all bids and to waive informalities in the bidding.

The Bidder agrees that this bid shall be good and may not be withdrawn for a period of 90 Calendar Days after the scheduled closing time for receiving bids.

Upon receipt of written notice of the acceptance of this Bid, Bidder will execute the formal contract attached within 10 days.

The undersigned declares; that the only person interested in this Proposal as principals are named herein as such; that no official of the Owner and no person acting for or employed by the Owner is interested directly or indirectly in this Proposal, or in any contract which may be made under it, or in any expected profits to arise there from; that this Proposal is made in good faith, without fraud, collusion or connection with any other person bidding or refraining from bidding for the same work; that he has examined carefully the said instructions and all other documents bound herewith, and the Contract Drawings relating to the contract covered by this Proposal and hereby makes them part of this Proposal; that he has informed himself fully in regard to all conditions pertaining to the work and place where it is to be done; and that he has made his own examination and carefully checked his estimates of cost and from them makes this Proposal.

The Owner reserves the right to accept individual bid items or combinations thereof.

In compliance with the requirements of Rhode Island General Law, Section 5-65-23, my Rhode Island license number for the work to be performed by this firm as prime contractor is:

License No. _____

(Signature of authorized representative)

(Title of authorized representative)

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(Seal if bid is by a corporation)
(Business Address)

END OF DOCUMENT

SECTION 01150
MEASUREMENT AND PAYMENT

PART 1 GENERAL

- 1.1 This section describes the measurement of and the payment for the work to be done under the items listed in the Bid.
- 1.2 Each Unit or Lump-Sum Price stated in the Bid shall constitute full compensation for all labor, equipment, materials and all incidental and appurtenant work required or necessary to satisfactorily complete the specified work in the accordance with the Drawings and Specifications.
- 1.3 Appurtenant items of work shown on the Drawings or specified or required to complete the work but not listed separately under the list of items in the Bid shall be included in the cost of payment under the various applicable bid items of work and no separate payment will be made for such items. It shall be the responsibility of the Contractor to verify any missing or incomplete items.
- 1.4 All existing work removed or damaged by the Contractor's operations shall be replaced to the satisfaction of the Owner at no additional expense to the Owner.
- 1.5 The limits of work shown on the plans shall be considered to be the pay limits. If the Contractor carries work on beyond the designated limits without prior approval of the Owner or the Owner's Representative, then the Contractor shall restore that additional area at his own expense. Any work conducted beyond the specified pay limits, unless approved in writing by the Owner, shall not be measured for payment.
- 1.6 Estimated quantities of work or any other construction under this contract may change depending on actual field conditions. Any increase or decrease in quantities shall in no way affect this Contract, the unit price of the work item or give cause for claims or liabilities for damages.
- 1.7 Proposed items of work under this Contract are given for use in comparing bids and the right is especially reserved by the Owner to diminish them as may be deemed necessary or desirable by the Owner to meet available funding. Such changes to the proposed items of work shall in no way affect this Contract, nor give cause for claims or liabilities for damages.
- 1.8 The Owner has the right to delete any item or items from the Contract.
- 1.9 All unit prices and bids shall be representative of the work to be undertaken or of items to be supplied. Unbalanced bids shall not be permitted and may be basis for disqualification of the bid.
- 1.10 All work for this project is to be done in accordance with the latest edition of International Building Code as amended, and the specifications accompanying these Contract Documents. Standard details for this project are the details accompanying these Contract Documents.
- 1.11 The Contractor shall include the cost of other indirect and miscellaneous costs in his/her submitted bid items.

2.01 Bid Item 1. Temporary Fencing

A. Measurement:

Temporary Fencing shall be measured by each stair tower demolished. The work measured under this item shall include but not be limited to, coordination with the Housing Authority and the Owner's Representative on shop drawing submittals and associated work hours and staging areas, post proper signage of possible hazards on site during construction, obtaining required State and Local permits prior to starting work, installing minimum 6' high temporary chain link fencing around the work area prior to starting construction while minimizing the displacement of residents, and removal of the temporary fence after completion of construction. Contractor shall return the work areas to original site conditions upon completion following final inspection of the Owner's Representative, as well as all associated activities, completed and accepted by the Engineer.

B. Payment:

The accepted quantity for Bid Item 1 shall be paid for at the contract Price of Each, complete and accepted, including labor, materials, tools, equipment and all other incidentals necessary to complete the work in accordance with the plans, as directed by the Engineer and to the satisfaction of the Owner.

2.02 Bid Item 2. Demolition and Disposal of Existing Stair Tower

A. Measurement:

Demolition and Disposal of Existing Stair Tower shall be measured by each stair tower demolished. The work measured under this item shall include but not be limited to, coordination with the Housing Authority and the Owner's Representative on shop drawing submittals and associated work hours and staging areas, post proper signage of possible hazards on site during construction, obtaining required State and Local permits prior to starting work, removal and legal disposal of the existing stair tower, including but not limited to, metal stairs, roofs, gutters, downspouts, lights and electrical conduit, windows, and first floor doors. The existing concrete foundation is to remain in place undamaged. Additionally, aluminum flashing shall be trimmed flush to the existing apartment building wall and any jagged edges smoothed, any damage or holes to the exterior wall resulting from the complete removal of the stair systems shall be repaired with brick or CMU block and grout to match the existing wall; concrete shall be repaired around perimeter of the foundation as shown on design plans, and cut and cap existing drain pipes from the stair tower gutters with 6" schedule 40 PVC pipe caps 6" above grade. Contractor shall return the work areas to original site conditions upon completion following final inspection of the Owner's Representative, as well as all associated activities, completed and accepted by the Engineer.

B. Payment:

The accepted quantity for Bid Item 2 shall be paid for at the contract Price of Each, complete and accepted, including labor, materials, tools, equipment and all other incidentals necessary to complete the work in accordance with the plans, as directed by the Engineer and to the satisfaction of the Owner.

2.03 Bid Item 3. Furnish and Install New Alum. Stairs

A. Measurement:

Furnish and Install New Alum. Stairs shall be measured by each proposed stair tower. The work measured under this item shall include but not be limited to, coordination with the Housing Authority and the Owner's

Representative on shop drawing submittals and associated work hours and staging areas, post proper signage of possible hazards on site during construction, obtaining required State and Local permits prior to starting work, furnishing and installing exterior wall pack light model PLT-12617, or approved equal, with exterior grade electrical conduit, furnishing and installing concrete footings, as per the design plans provided by Verdantas, at each leg footplate of the aluminum stairs with leg footplate locations to be determined from design plans to be received by Upside LLC, or approved equal, furnishing and installing new aluminum stairs designed and supplied by Upside LLC, or approved equal, that are a switchback design, ADA/IBC compliant, have bar grate decking, 56" landing platforms, a steel mill finish, and a canopy only over the landing at the point of egress. Contractor shall return the work areas to original site conditions upon completion following final inspection of the Owner's Representative, as well as all associated activities, completed and accepted by the Engineer.

B. Payment:

The accepted quantity for Bid Item 3 shall be paid for at the contract Price of Each, complete and accepted, including labor, materials, tools, equipment, and all other incidentals necessary to complete the work in accordance with the plans, as directed by the Engineer and to the satisfaction of the Owner.

2.04 Bid Item 4. Furnish and Install Awning Support

A. Measurement:

Furnish and Install Awning Support shall be measured by each stair tower demolished. The work measured under this item shall include but not be limited to, coordination with the Housing Authority and the Owner's Representative on shop drawing submittals and associated work hours and staging areas, post proper signage of possible hazards on site during construction, obtaining required State and Local permits prior to starting work, furnishing and install footing and post to support the existing awning after demolition of the existing stair tower as shown on the design plans, finish the exposed roof awning section with new ½" exterior grade OSB plywood sheathing and finish with AZEK trim, the contractor shall remove and relocate the existing 2x4 roof rafter as needed so the new finish detail does not extend beyond the overhang of existing asphalt shingles. Contractor shall return the work areas to original site conditions upon completion following final inspection of the Owner's Representative, as well as all associated activities, completed and accepted by the Engineer.

B. Payment:

The accepted quantity for Bid Item 4 shall be paid for at the contract Price of Each, complete and accepted, including labor, materials, tools, equipment and all other incidentals necessary to complete the work in accordance with the plans, as directed by the Engineer and to the satisfaction of the Owner.

PART 3 MEASUREMENT AND PAYMENT – ADD ALTERANTE

3.01 Add Alternate Bid Item 1. Furnish and Install New Alum. Canopy

A. Measurement:

Furnish and Install New Alum. Canopy shall be measured by each proposed stair tower. The work measured under this item shall include but not be limited to, coordination with the Housing Authority and the Owner's Representative on shop drawing submittals and associated work hours and staging areas, post proper signage of possible hazards on site during construction, obtaining required State and Local permits prior to starting work, furnishing and installing new aluminum canopy designed and supplied by Upside LLC, or approved

*Pawtucket Housing Authority
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equal, returning the work areas to original site conditions upon completion following final inspection of the Owner's Representative, as well as all associated activities, completed and accepted by the Engineer.

B. Payment:

The accepted quantity for Add Alternate Bid Item 1 shall be paid for at the contract Price of Each amount, complete and accepted, including labor, materials, tools, equipment and all other incidentals necessary to complete the work in accordance with the plans, as directed by the Engineer and to the satisfaction of the Owner.

END OF SECTION 01150

SECTION 01000
SUMMARY OF WORK

PART 1.00 - GENERAL

1.01 DESCRIPTION

The Pawtucket Housing Authority Galego Court Stair Tower Replacement project consists of removing and disposing of the existing stair towers; and replacing them with new aluminum stairs designed and supplied by Upside, LLC., or approved equal. Upside LLC contact is Nick Bishop. He can be reached via email at nbishop@upsideinnovations.com or can be reached at his office number 513-889-2492 x105. New aluminum stairs shall be switchback design, ADA/IBC complain, have bar grate decking, and a steel mill finish. The add alternate below includes an aluminum canopy that would also be supplied by Upside LLC or approved equal.

Site work shall take place at the subject property located at 483 Weeden Street, Pawtucket, RI. The work encompassed by this contract shall include but is not limited to the following.

1. Coordinating with the Housing Authority for accessibility to specified buildings and proper staging areas. No more than two (2) units to be worked on at a time.
2. Mobilization of all applicable equipment staged within the agreed upon location;
3. Coordination and submittals of all required shop drawings to the Engineer for approval;
4. Obtain all required State and Local permits;
5. Complete in-field measurements to verify prior to purchasing applicable materials;
6. Submit aluminum stair, and canopy as applicable, design plans from Upside, LLC., or approved equal, to the Engineer.
7. Furnish and install temporary fencing around existing stair tower prior to start of construction and remove once work is completed;
8. Removal and disposal of existing stair tower, including but not limited to, metal stairs, roofs, gutters, downspouts, lights and electrical conduit, windows, and first floor doors. The existing concrete foundation is to remain in place undamaged;
 - a. Any damage or holes to the exterior wall resulting from the complete removal of the stair systems shall be repaired with brick or CMU block and grout to match the existing wall;
 - b. Existing exposed awning side shall be covered with Azek trim;
 - c. Concrete shall be repaired around perimeter of the foundation as shown on design plans.
 - d. Cut and cap existing drain pipes form the stair tower gutters with 6" schedule 40 PVC pipe caps 6" above grade.
9. Furnish and install 6" x 6" pressure treated post and 12" diameter concrete footing minimum 42" below grade to support existing awning.
10. Contractor shall finish the exposed roof awning section with new ½" exterior grade OSB plywood sheathing and finish with AZEK trim. The contractor shall remove and relocate the existing 2x4 roof rafter as needed so the new finish detail does not extend beyond the overhang of existing asphalt shingles.
11. Furnish and install footings at all locations the aluminum leg footplates will be anchored to the ground as per design plans to be provided by Upside LLC, or approved equal.
12. Furnishing and install new aluminum stairs designed and supplied by Upside LLC, or approved equal, that are a switchback design, ADA/IBC complain, have bar grate decking, 56" landing platforms, a steel mill finish, and a canopy only over the landing at the point of egress.
13. Furnish and install new exterior wall pack light PLT-12617, or approved equal, on

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Galego Court Stair Tower Replacement
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building wall adjacent to point of egress.

14. Demobilize from the site following final inspection by the Owner's Representative.

Additionally, included within the scope of work is the following add alternate task:

1. In the event the owner chooses to add alternate item 1, Furnish and Install New Alum. Canopy, the contractor shall furnish and install new aluminum canopy designed and supplied by Upside, or approved equal.

1.02 SPECIAL REQUIREMENTS

- A. The Contractor will coordinate the construction schedule with the owner's representative to ensure that access to areas is permitted during the planned time.
- B. The Contractor shall be responsible for removing and protecting any equipment that may interfere with the construction operations. Immediately upon completion of construction activities in a given area, the contractor shall be responsible for returning the area to a pre-construction state satisfactory to the owner's representative.
- C. Do not begin work when inclement weather is forecast to occur prior to the anticipated time of completion of the work item.

END OF SECTION

SECTION 01300
SUBMITTALS

PART 1 – GENERAL

1.00 REQUIREMENTS INCLUDED

- A. Submit Product Data, Samples and Certifications concurrently as required by Contract Documents and as reasonably requested by the Engineer.
- B. Prepare and submit to the Engineer no later than ten (10) calendar days after receipt of Notice to Proceed (NTP), a list of submittals required by each Specification Section in the Contract Agreement. Submit in accordance with this Section.
- C. Designate in schedule data dates for submission and review of shop drawings, product data and samples, and the date of return.

1.01 PRODUCT DATA

- A. Preparation
 - 1. Annotate each sheet to clearly identify specific product or part installed and specific data applicable to installation.
 - 2. Show performance characteristics and capacities.
 - 3. Show dimensions and clearances required.
 - 4. Indicate specified finish.
 - 5. Indicate only those sheets, which are pertinent to specific product(s) with product clearly identified.
- B. Manufacturer's standard schematic drawings and documents.
 - 1. Modify drawings and diagrams to delete information, which is not applicable to the Work.
 - 2. Supplement standard information to provide information, which is applicable to the Work.

1.02 SAMPLES

- A. Provide a minimum of three (3) office samples, or as otherwise indicated in the Technical Specifications, of sufficient size to clearly illustrate:
 - 1. Functional characteristics of the product, with integrally related parts and attachment devices.
 - 2. Full range of color, texture, and pattern.
 - 3. Samples shall be referenced to applicable section of the specifications.
 - 4. Sample of selected color, texture or finish is to be provided on 4" x 4" (or as appropriate) sample chip. Record sample to match actual material installed.

1.03 MANUFACTURER'S CERTIFICATION OF MATERIALS AND EQUIPMENT

- A. Certification is required for the following systems:
 - 1. Systems requiring certification will be specified in each of the Divisions of the Technical Specifications.

1.04 CONTRACTOR REVIEW

*Pawtucket Housing Authority
Galego Court Stair Tower Replacement
Pawtucket, Rhode Island*

- A. Contractor shall review all submittals prior to transmittal to the Engineer.
 - 1. The Contractor shall consecutively number all shop drawings and product data transmittals. Re-submittals would have the same number of the previous submittal followed by the suffix "A, B, C etc."
 - 2. The transmittal is to contain the project number and the applicable specification section for each product represented on the transmittal.

- B. Apply Contractor's stamp to submittals, initialed or signed by authorized person and dated, certifying: review of submittal, verification of products, field measurements and field construction criteria, and coordination of information within submittal with requirements of Work and the Contract Documents.

- C. Submittals without Contractor's stamp or submittals that, in the Engineer's opinion are incomplete, contain numerous errors, or have not been checked or have only been checked superficially, will be returned without comments. Delays resulting there from shall be solely the Contractor's responsibility.

- D. Clearly note proposed deviations from the Contract Documents on submittals. Submit listing identifying deviations in a format acceptable to the Engineer.

- E. Contractor shall be responsible to ensure quantities and dimensions shown on submittals comply with the requirements of the Contract Documents.

1.05 SUBMISSION REQUIREMENTS

- A. Make submittals promptly in accordance with approved schedule and in such sequence as to cause no delay in the Work. Submittals by Contractor shall be made only through the Engineer.
- B. Number of submittals required:
 - 1. Shop Drawings: Submit one (1) reproducible transparency (sepia) and three (3) opaque reproductions (prints) in addition to what the Contractor will require back.
 - 2. Product Data: Submit copies Contractor requires, plus three (3) originals that will be retained by the Engineer.
 - 3. Samples: Submit two (2) samples of each material or the number required in each specification section.
- C. Submittals shall contain:
 - 1. Date of submission and dates of any previous submissions.
 - 2. Project title and number.
 - 3. Contract identification number.
 - a. The names of:
 - b. Contractor.
 - c. Subcontractor.
 - d. Supplier.
 - e. Manufacturer.
 - 4. Identification of the product, with the specification section number.
 - 5. Field dimensions, clearly identified as such.
 - 6. Relation to adjacent or critical features of the Work or Materials.
 - 7. Applicable standards, such as ASTM or Federal Specification numbers.

8. Identification of deviations from Contract Documents and justification.
9. Identifications of revisions on re-submittals.
10. Additional information as required by Contract Documents.
11. An 8-in.x 3-in. blank space for Contractor and Engineer stamps.

D. Contractor's responsibility for deviations in submittals from requirements of Contract Documents is not relieved by Engineer and/or Engineer's review of submittals

E. Numbering system established by the Contractor shall be agreeable to Engineer.

1.06 RESUBMISSION REQUIREMENTS

A. Make any corrections or changes in the submittals required by the Engineer, mark number of submission, and resubmit as required until approved.

B. Product Data:

1. Revise initial data, and resubmit as specified for the initial submittal.
2. Indicate any changes which have been made other than those requested by the Engineer.
3. Mark number of submission and resubmit until accepted.

C. Samples: Submit new samples as required for initial submittal. Remove samples, which are "rejected" or designated "resubmit."

1.07 ENGINEER REVIEW RESPONSIBILITIES

A. The Engineer shall review submittals with responsible promptness in accordance with the requirements of the Project Manual.

B. Affix stamp and initials or signature, and indicate requirements for revisions and re-submittal, if any.

C. Return submittals to Contractor and Owner for distribution, or for resubmission within fourteen (14) days of original receipt.

1.08 SUBMITTAL LIST

A. Shop Drawings

1. Upside, LLC, or approved equal, aluminum stair design plans;
2. Exterior wall pack light PLT-12617, or approved equal.

B. Permits

1. Building permit.

END OF SECTION 01300

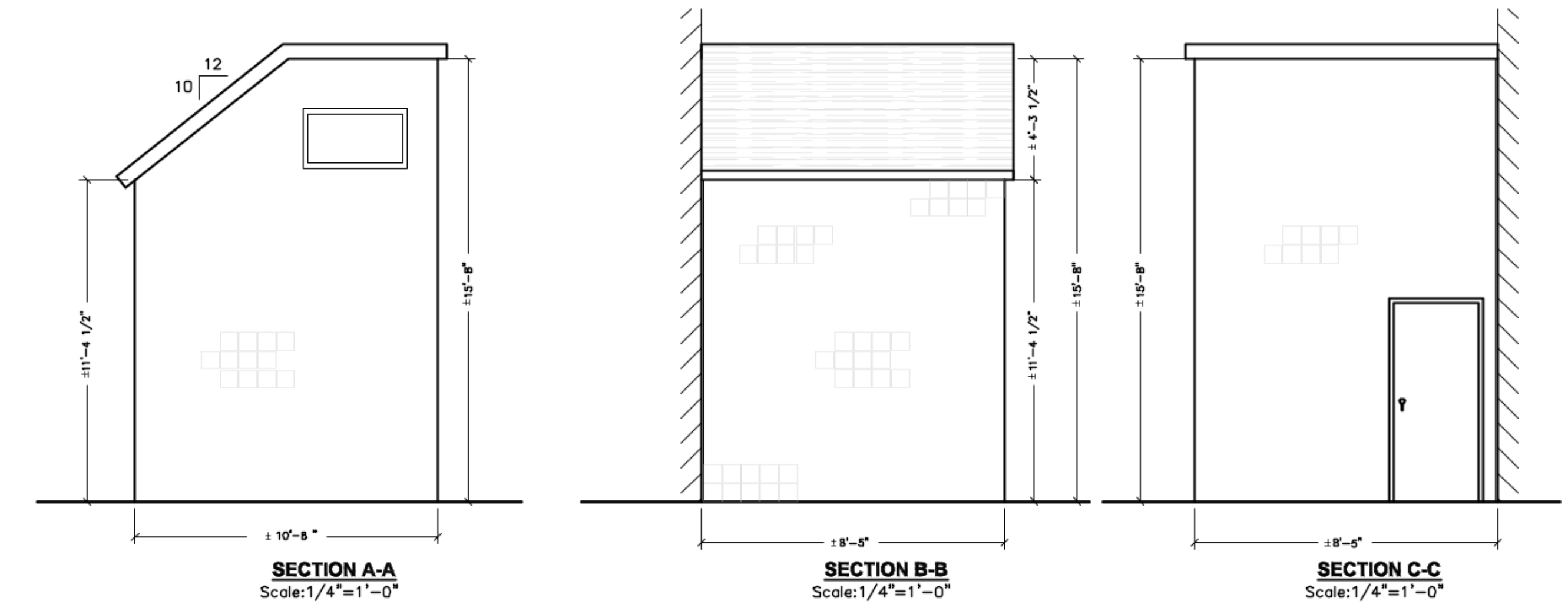
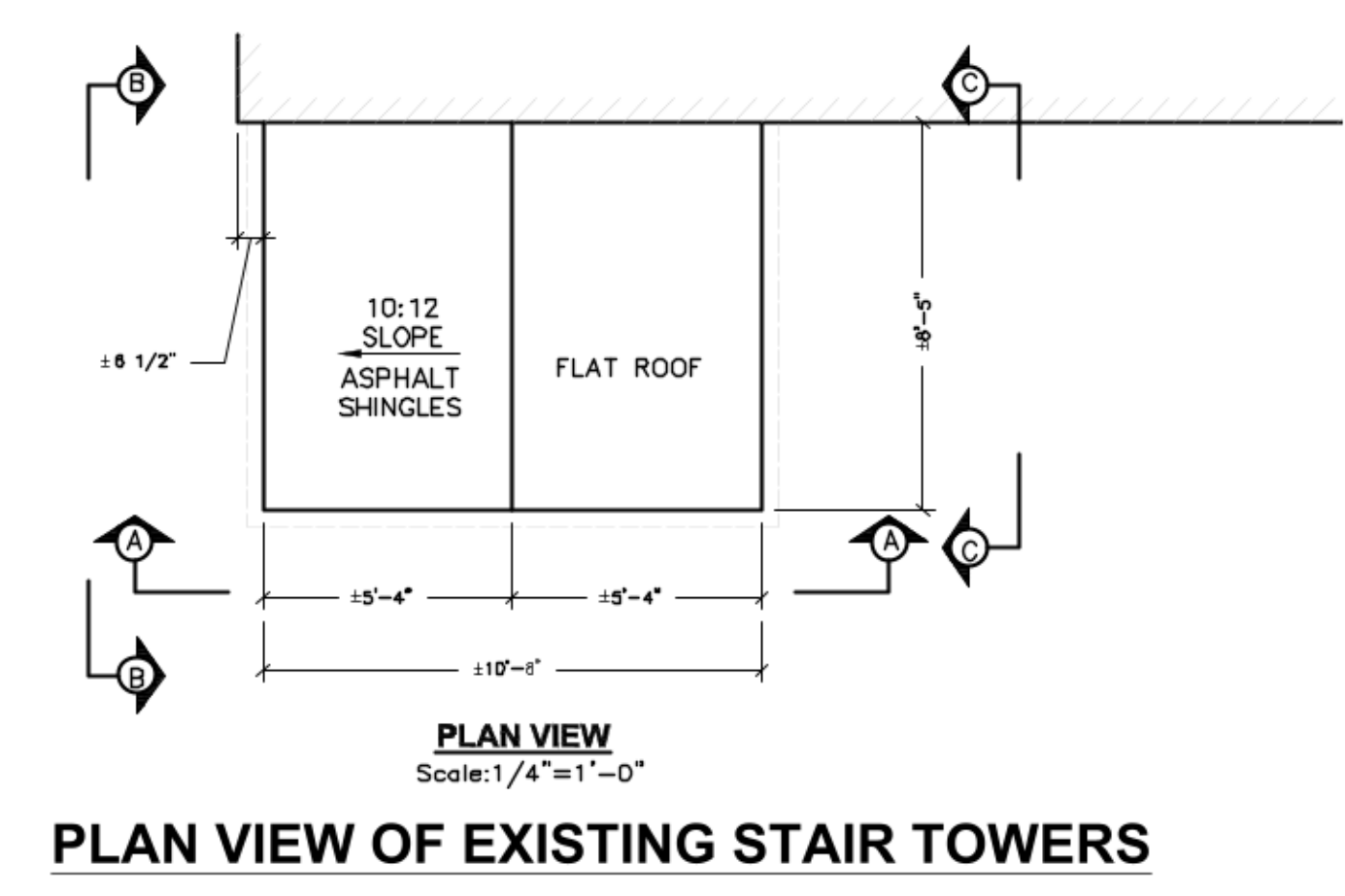
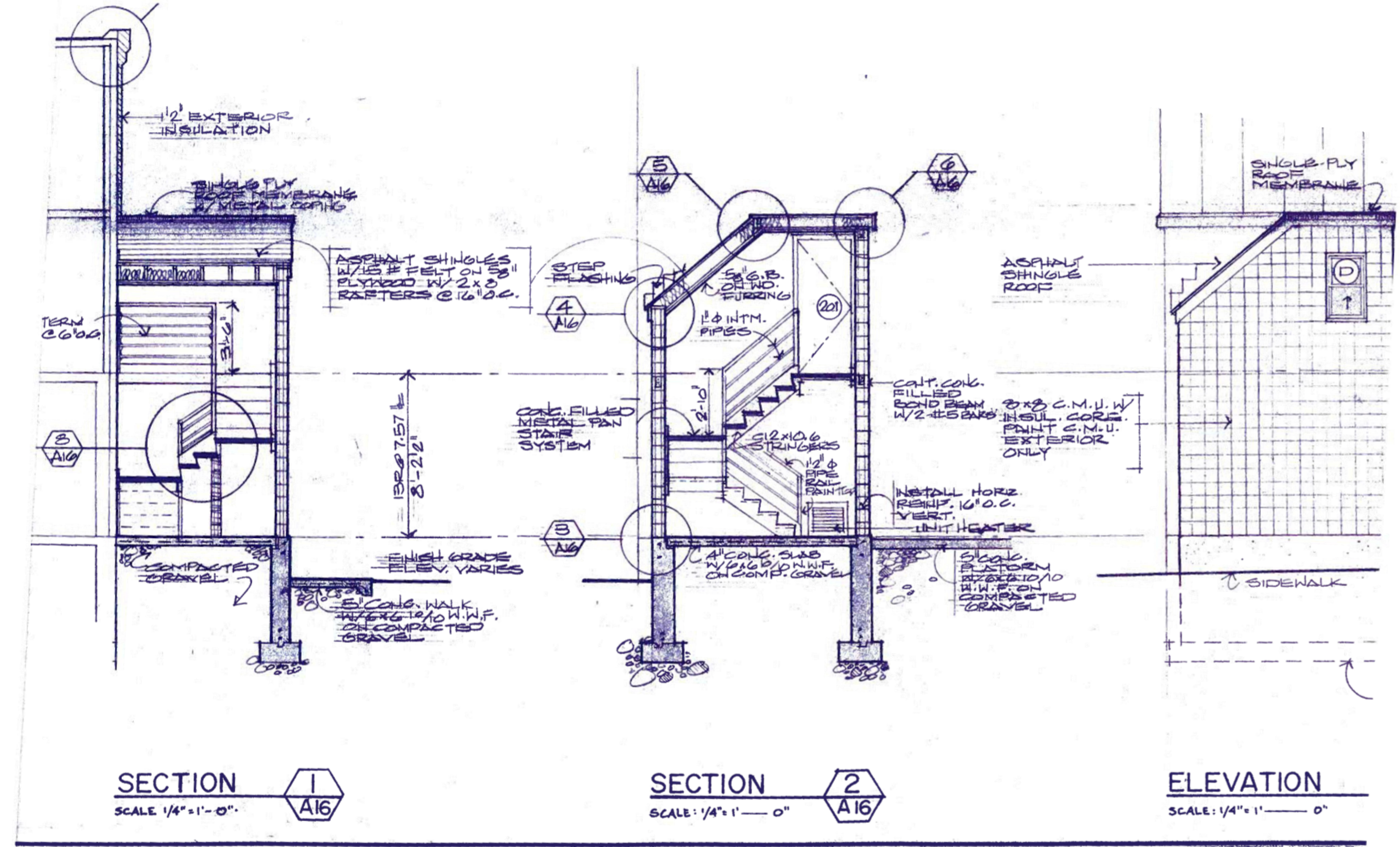
DESIGNED BY: RCM	DRAWN BY: EBB	CHECKED BY: RCM	PROJECT NO. 18442
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CHK'D BY DATE	REVISION	PRELIMINARY NOT FOR CONSTRUCTION
No.		

USE EXTERIOR GRADE ELECTRICAL CONDUIT

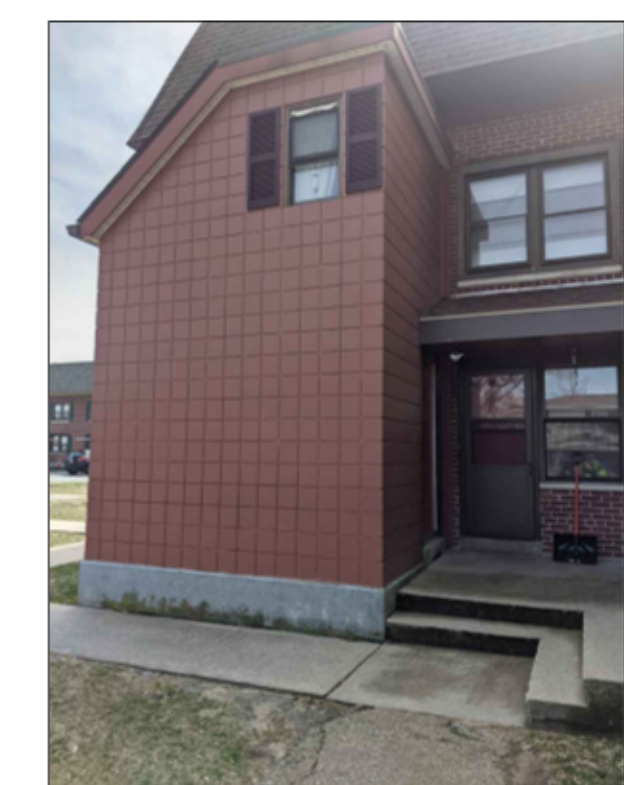
PAWTUCKET HOUSING AUTHORITY
STAIR TOWER REPLACEMENT
EXISTING CONDITIONS

DATE:	APRIL 2024
SCALE:	AS SHOWN
SHEET:	C102

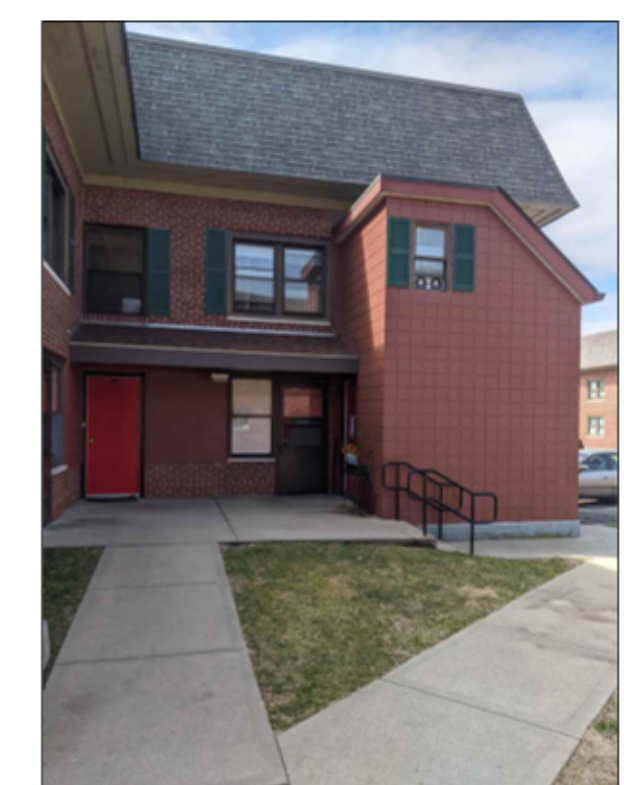


EXISTING STAIR TOWER DETAILS FROM 1986 PLANS TITLED "MODERNIZATION CROOK MANOR HOUSING"

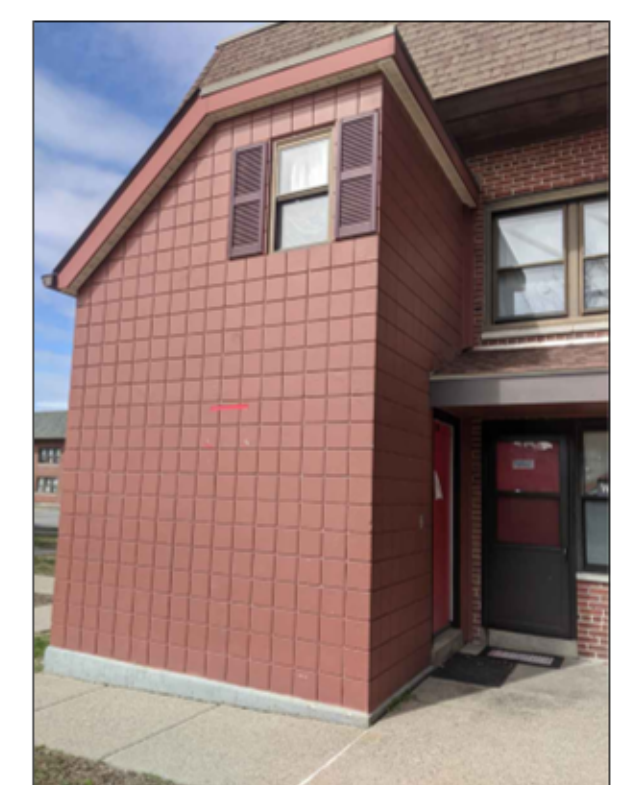
SECTION VIEWS OF EXISTING STAIR TOWERS



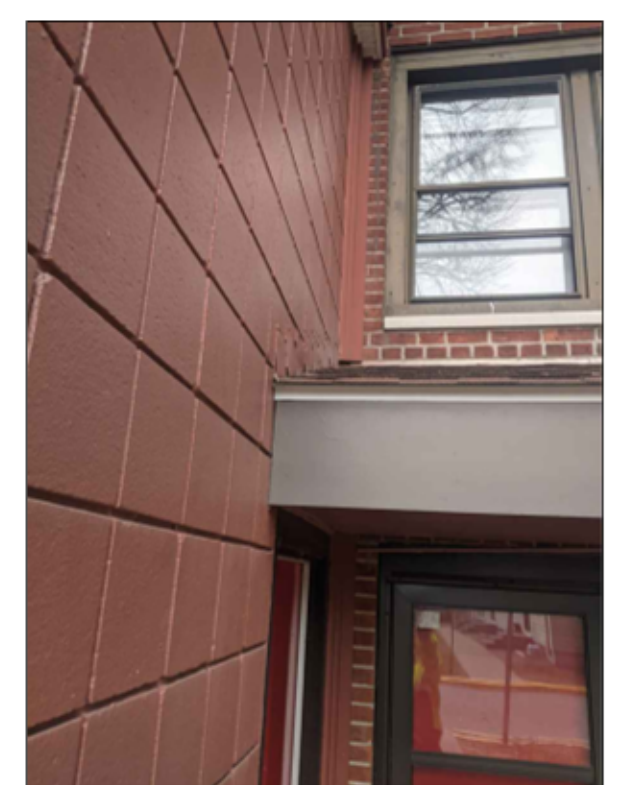
TYPICAL VIEW OF STAIR TOWER



TYPICAL VIEW OF STAIR TOWER



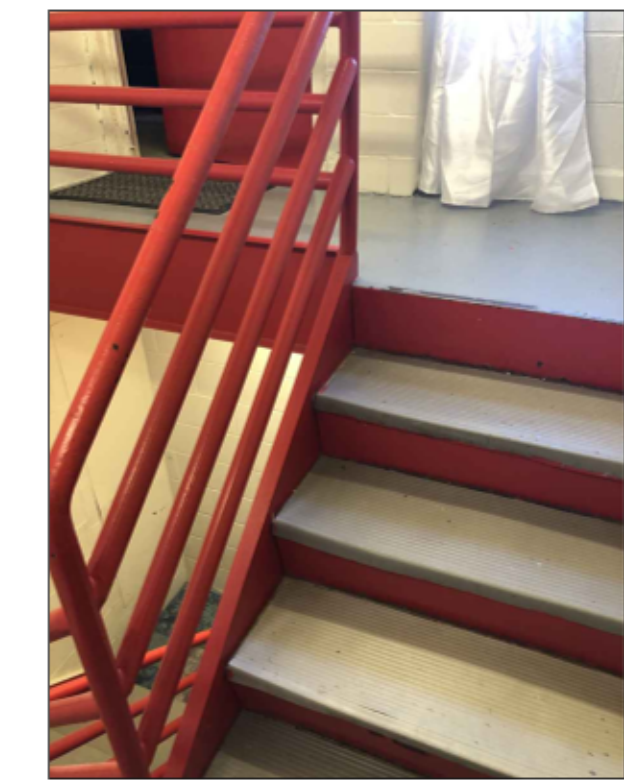
TYPICAL VIEW OF STAIR TOWER



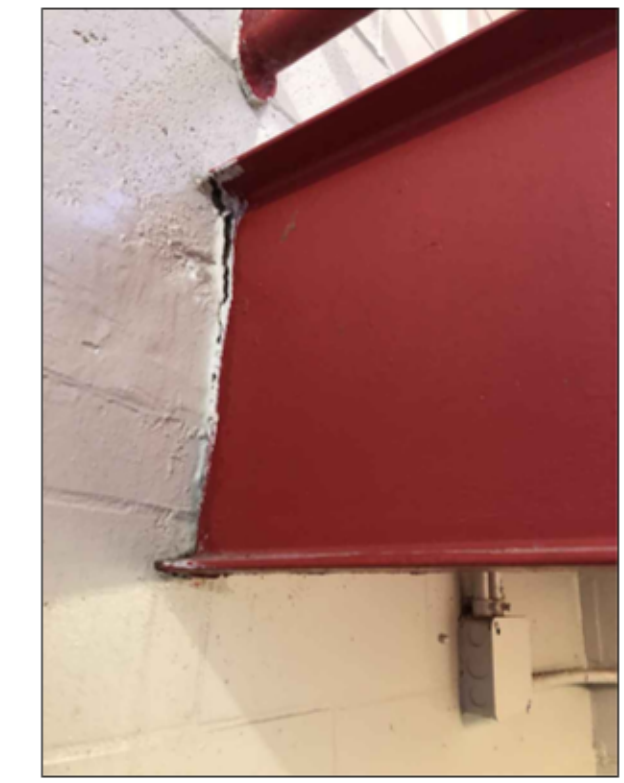
TYPICAL VIEW OF AWNING ATTACHMENT



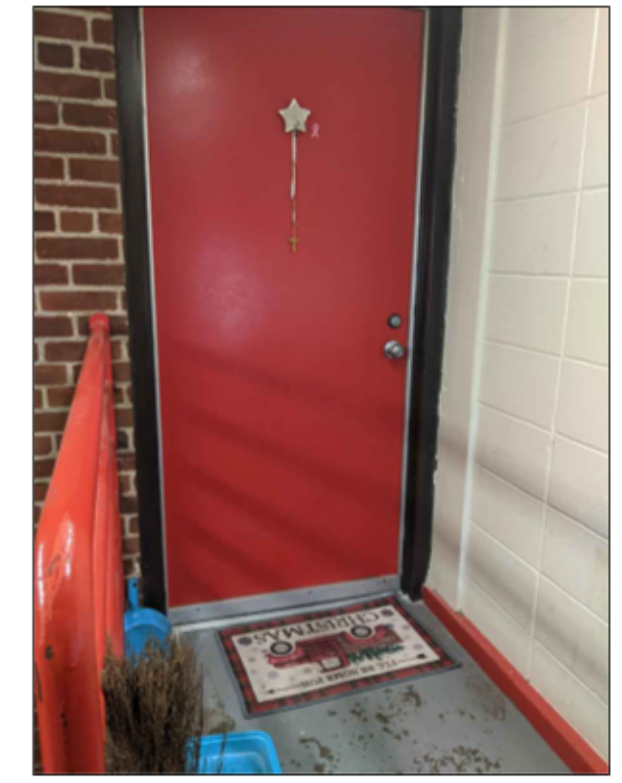
TYPICAL REAR VIEW OF STAIR TOWER



TYPICAL VIEW OF METAL STAIRCASE



CLOSE UP OF STEEL CHANNEL



TYPICAL VIEW OF SECOND FLOOR EGRESS

SCOPE OF WORK

- CONTRACTOR SHALL FURNISH AND INSTALL TEMPORARY FENCING AROUND EACH AREA OF WORK PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL REMOVE AND DISPOSE (R&D) EXISTING STAIR TOWER, INCLUDING BUT NOT LIMITED TO, CMU BLOCK WALLS, METAL STAIRS, ROOFS, GUTTERS, DOWNSPOUTS, LIGHTS AND ELECTRICAL CONDUIT, WINDOWS, AND FIRST FLOOR DOORS. EXISTING CONCRETE FOUNDATIONS TO REMAIN IN PLACE UNDAMAGED. CONTRACTOR SHALL WORK WITH THE PAWTUCKET HOUSING AUTHORITY (PHA) TO MINIMIZE DISTURBANCE TO RESIDENT EGRESS WITH AT MOST TWO (2) UNITS AT A TIME.
 - ALUMINUM STEP FLASHING SHALL BE TRIMMED FLUSH TO THE EXISTING APARTMENT BUILDING WALL AND ANY JAGGED EDGES SMOOTHED.
 - ANY DAMAGE OR HOLES TO THE EXTERIOR APARTMENT WALL RESULTING FROM THE COMPLETE REMOVAL OF THE EXISTING STAIR SYSTEMS SHALL BE REPAIRED WITH BRICK OR CMU BLOCK AND GROUT TO MATCH THE EXISTING WALL.
 - CONCRETE SHALL BE CAPPED AROUND PERIMETER OF THE FOUNDATION AS SHOWN ON SHEET C103.
 - CUT AND CAP EXISTING DRAIN PIPES FROM STAIR TOWER GUTTERS WITH 6" SCHEDULE 40 PVC PIPE CAPS 6" ABOVE GRADE.
- CONTRACTOR SHALL FURNISH AND INSTALL A 12" DIA. (42" MIN. BOS) CONCRETE FOOTING AS DETAILED ON SHEET C103 AND MOUNT ONE (1) 6" X 6" PRESSURE TREATED POST WITH SIMPSON ANCHORS AND PLATES TO THE EXISTING AWNING AT THE OUTERMOST CORNER PREVIOUSLY SUPPORTED BY THE STAIR TOWER.
 - FINISH EXPOSED ROOF AWNING SECTION WITH NEW 1/2" EXTERIOR GRADE OSB PLYWOOD SHEATHING AND FINISH WITH AZEK TRIM. REMOVE AND RELOCATE THE EXISTING 2" X 4" ROOF RAFTER AS NEEDED SO THE NEW FINISH DETAIL DOES NOT EXTEND BEYOND THE OVERHANG OF EXISTING ASPHALT SHINGLES.
- CONTRACTOR SHALL FURNISH AND INSTALL 12" DIA. (42" MIN. BOS) CONC. FOOTINGS AT LOCATIONS OF ALUMINUM LEG FOOTPLATES. LEG FOOTPLATE LOCATIONS TO BE PROVIDED BY STAIR MANUFACTURER.
- CONTRACTOR SHALL FURNISH AND INSTALL NEW ALUM. SWITCHBACK STAIRS DESIGNED AND SHIPPED FROM UPSIDE LCC, OR APPROVED EQUAL, AS PER THE MANUFACTURER'S RECOMMENDATIONS. SEE CONTACT INFORMATION BELOW.
- CONTRACTOR SHALL INSTALL NEW EXTERIOR WALL PACK LIGHT MODEL PLT-12617, OR APPROVED EQUAL, TO THE EXISTING BUILDING WALL ADJACENT TO THE POINT OF EGRESS. CONTRACTOR SHALL

ADD-ALTERNATE:

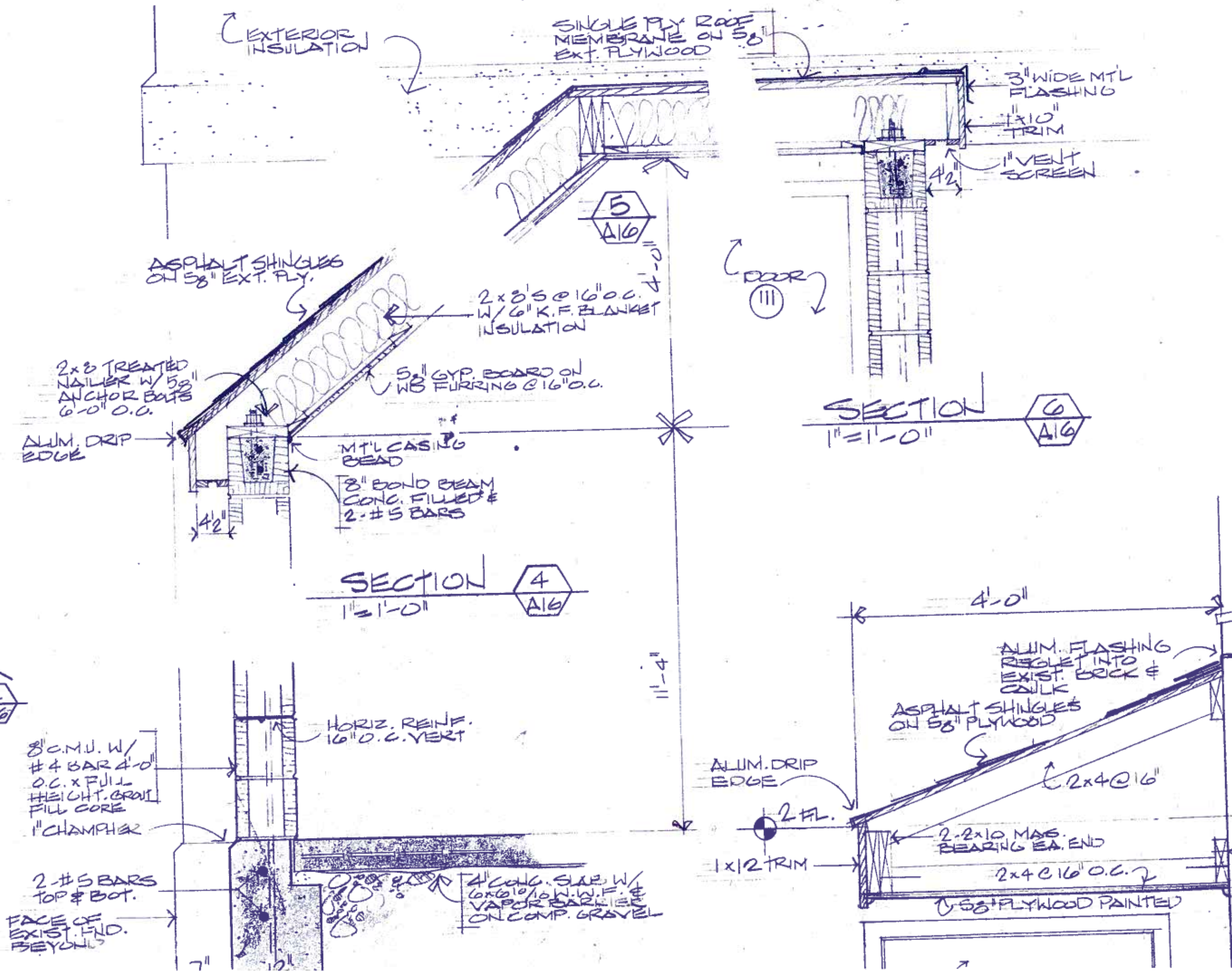
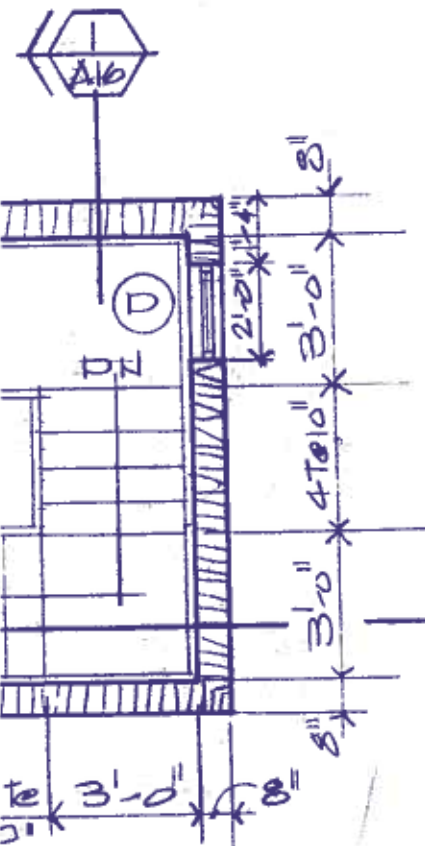
- CONTRACTOR SHALL FURNISH AND INSTALL NEW ALUM. CANOPY AS PER THE MANUFACTURER'S RECOMMENDATIONS.

STAIR MANUFACTURER CONTACT INFORMATION

UPSIDE, LLC
NICK BISHOP
NBISHOP@UPSIDENNOVATIONS.COM
513-889-2492 X105

ND FLOOR PLAN

1" = 1'-0"



EXTERIOR INSULATION

SINGLE PLY ROOF MEMBRANE ON EXT. PLYWOOD

ASPHALT SHINGLES ON 5/8" EXT. PLY.

2x8'S @ 16" O.C. W/ 6" K.F. BLANKET INSULATION

2x8 TREATED NAILER W/ 5/8" ANCHOR BOLTS @ 6'-0" O.C.

5" GYP BOARD ON WB FURRING @ 16" O.C.

ALUM. DRIP EDGE

MTL CASING BEAD

8" BOND BEAM CONC. FILLED & 2-#5 BARS

SECTION 4
1" = 1'-0"

SECTION 6
1" = 1'-0"

8" C.M.U. W/ #4 BAR 4'-0" O.C. x FULL HEIGHT. GRAV. FILL CORE 1" CHAMFER

HORIZ. REINF. 16" O.C. VERT

2-#5 BARS TOP & BOT. FACE OF EXIST. FND. BEYOND

4" CONC. SLAB W/ 6x6 @ 10" W.W.F. & VAPOR BARRIER ON COMP. GRAVEL

ALUM. DRIP EDGE

2 FL.

1x12 TRIM

ALUM. FLASHING REGLET INTO EXIST. BRICK & CAULK

ASPHALT SHINGLES ON 5/8" PLYWOOD

2x4 @ 16"

2-2x10 MAS. BEARING EA. END

2x4 @ 16" O.C.

5/8" PLYWOOD PAINTED

DESCRIPTION

Improve security lighting around building perimeters by replacing existing metal halide fixtures with these more efficient wattage and color selectable LED wall packs featuring a semi-cutoff design and integrated photocell.

FEATURES

- Delivers up to 151 LPW depending on the wattage selected
- Semi-cutoff design helps reduce light pollution while eliminating dark spots
- Integrated photocell for dusk till dawn operation
- Unique flat-lens design gives this low-profile fixture a sleek, modern look
- Replaces up to a 175W metal halide fixture
- Lumen output varies depending on the wattage and color temperature selected; see Selectable Table for full breakdown
- Compatible with 0-10V dimmers; see Compatible Dimmers section for full list of compatible dimmers
- Wattage and color temperature are adjusted via switches inside of the fixture; see installation instructions for more information

LISTINGS

- UL Listed for wet locations
- IP65 Rated

PERFORMANCE

- CRI: >80
- CCT: 3000K, 4000K, and 5000K
- LED L70 Life Hours @25°C: 140,000 hours
- Philips Lumileds LEDs
- BUG: B2-U2-G2

ELECTRICAL

- THD: ≤20%
- Power Factor: ≥0.9
- Input Voltage: 120-277V
- Surge Protection: 2.5kV

THERMAL

- -40°F to 113°F (-40°C to 45°C) operating temperature

CONSTRUCTION

- Die-cast aluminum housing with bronze finish
- Clear ribbed glass lens

WARRANTY

- 5 year limited warranty; see pltsolutions.com for warranty details

project name	type
catalog number	
comments	voltage
approved by	date



APPLICATIONS

- General Security Lighting
- Pathways
- Loading Docks
- Building Perimeters

PERFORMANCE SUMMARY

Item #	Watts*	CRI	CCT*	Lens	Dimming	Voltage	Replaces	Default Setting
PLT-12616	15/ 20/ 25	>80	3000K/ 4000K/ 5000K	Glass	0-10V	120-277V	MH150	25W, 5000K
PLT-12617	25/ 30/ 40	>80	3000K/ 4000K/ 5000K	Glass	0-10V	120-277V	MH175	40W, 5000K

* See Selectable Table for full Breakdown

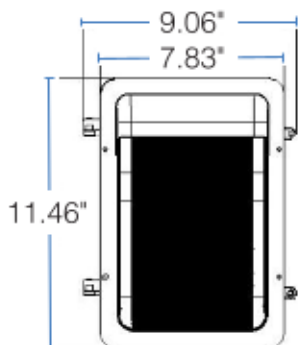
SELECTABLE TABLE

SKU	Wattage	CCT	Lumen	Efficacy
PLT-12616	15	3000K	2094	140
		4000K	2164	144
		5000K	2271	151
	20	3000K	2525	126
		4000K	2630	132
		5000K	2744	137
	25	3000K	2957	118
		4000K	3076	123
		5000K	3171	127
PLT-12617	25	3000K	3357	134
		4000K	3593	144
		5000K	3492	140
	30	3000K	4061	135
		4000K	4247	142
		5000K	4322	144
	40	3000K	5318	133
		4000K	5481	137
		5000K	5472	137

COMPATIBLE DIMMERS

Brand	Model
LEGRAND	RH4FBL3PTC
LEVITON	IP710-DLZ
LEVITON	DS710-10Z
LUTRON	NTSTV-DV-WH
LUTRON	NFTV-WH
LUTRON	DVSTV-WH

DIMENSIONS



DIMENSIONS:

Height: 11.46"

Width: 7.83"

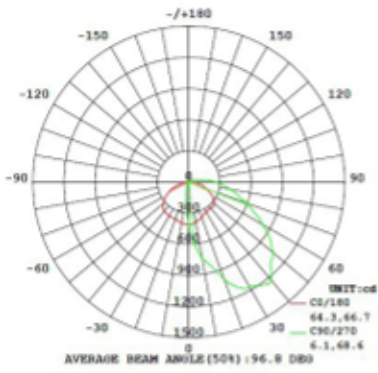
Width (w/ hinges): 9.06"

Depth: 4.12"

Weight: 4.19 lb

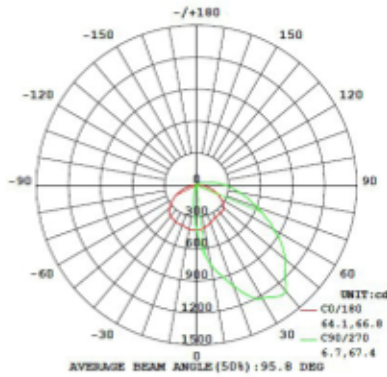
**PLT-12616 15W 3000K
PHOTOMETRICS**

INTENSITY DISTRIBUTION DIAGRAM
IN C PLANS



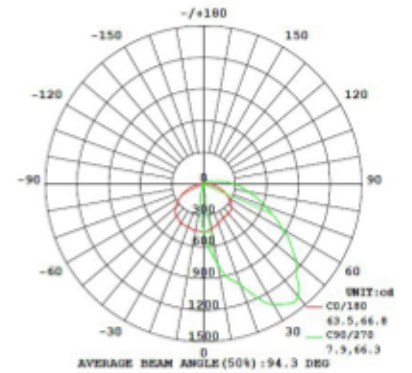
**PLT-12616 15W 4000K
PHOTOMETRICS**

INTENSITY DISTRIBUTION DIAGRAM
IN C PLANS



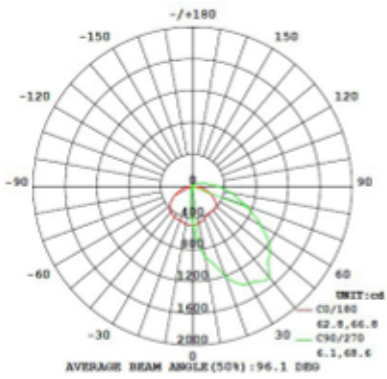
**PLT-12616 15W 5000K
PHOTOMETRICS**

INTENSITY DISTRIBUTION DIAGRAM
IN C PLANS



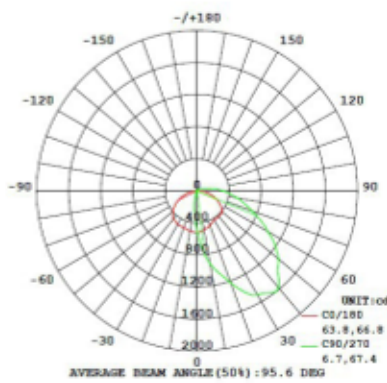
**PLT-12616 20W 3000K
PHOTOMETRICS**

INTENSITY DISTRIBUTION DIAGRAM
IN C PLANS



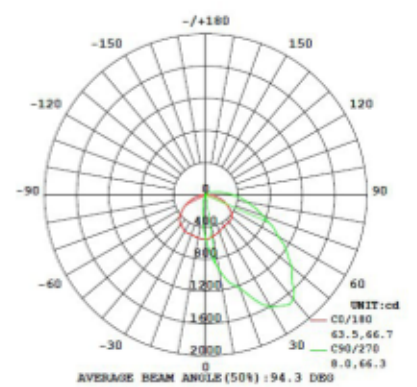
**PLT-12616 20W 4000K
PHOTOMETRICS**

INTENSITY DISTRIBUTION DIAGRAM
IN C PLANS



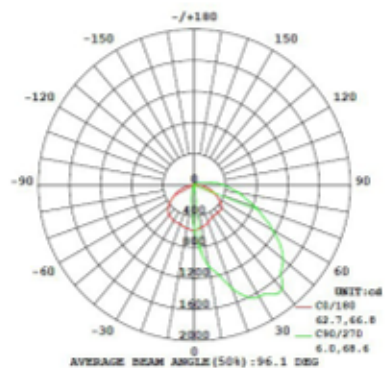
**PLT-12616 20W 5000K
PHOTOMETRICS**

INTENSITY DISTRIBUTION DIAGRAM
IN C PLANS



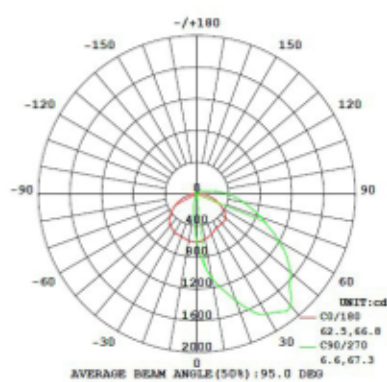
**PLT-12616 25W 3000K
PHOTOMETRICS**

INTENSITY DISTRIBUTION DIAGRAM
IN C PLANS



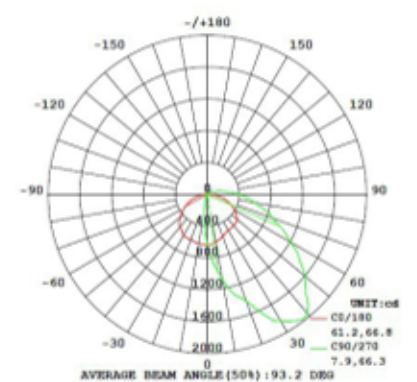
**PLT-12616 25W 4000K
PHOTOMETRICS**

INTENSITY DISTRIBUTION DIAGRAM
IN C PLANS



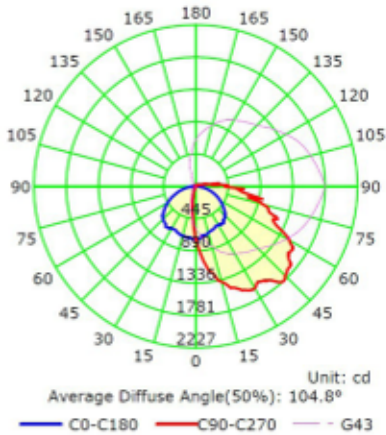
**PLT-12616 25W 5000K
PHOTOMETRICS**

INTENSITY DISTRIBUTION DIAGRAM
IN C PLANS



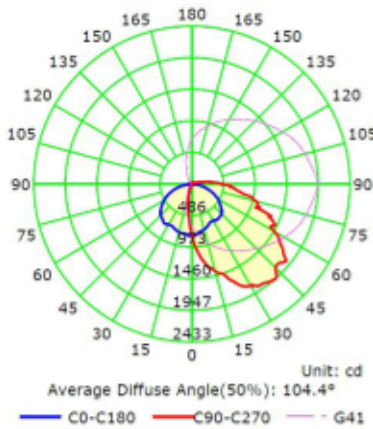
**PLT-12617 25W 3000K
PHOTOMETRICS**

Luminous Intensity Distribution Curve



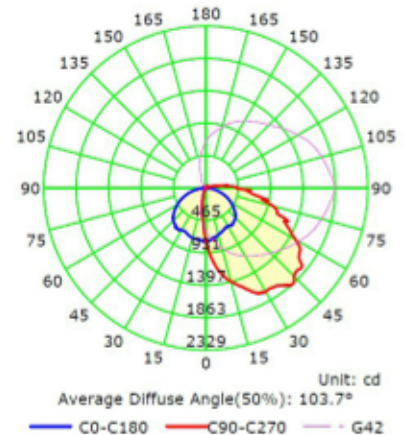
**PLT-12617 25W 4000K
PHOTOMETRICS**

Luminous Intensity Distribution Curve



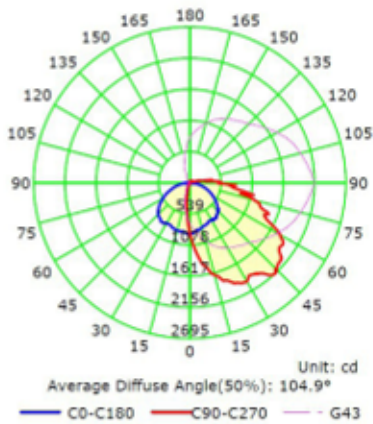
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PHOTOMETRICS**

Luminous Intensity Distribution Curve



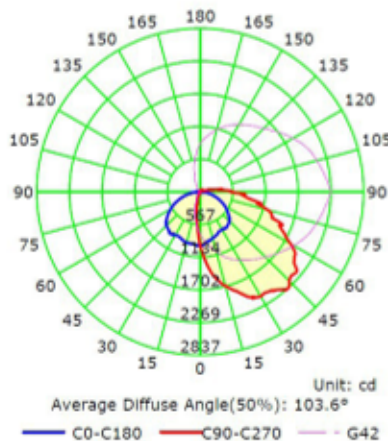
**PLT-12617 30W 3000K
PHOTOMETRICS**

Luminous Intensity Distribution Curve



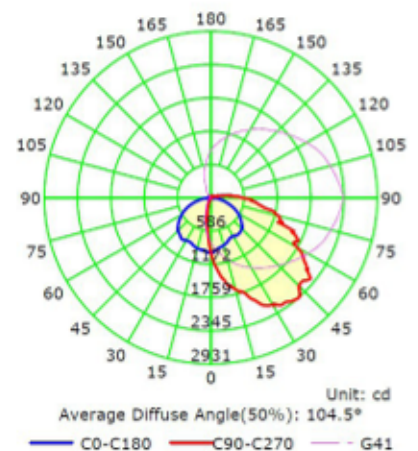
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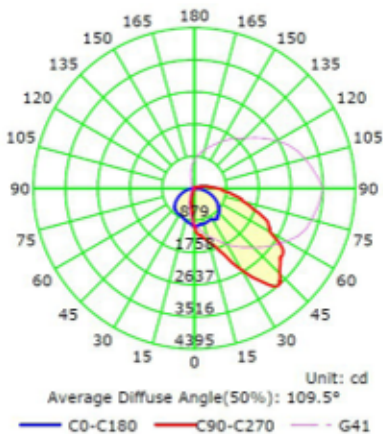
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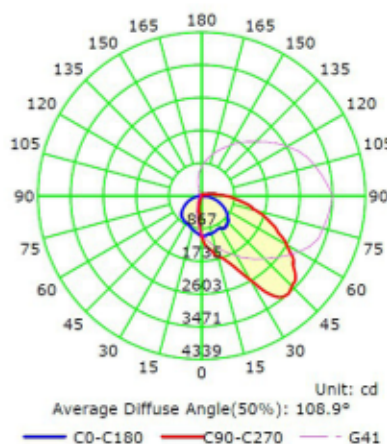
**PLT-12617 40W 3000K
PHOTOMETRICS**

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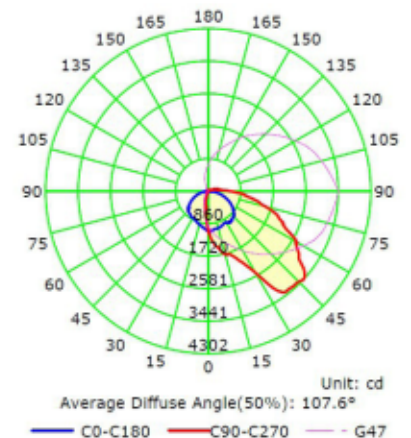
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PHOTOMETRICS**

Luminous Intensity Distribution Curve



**PLT-12617 40W 5000K
PHOTOMETRICS**

Luminous Intensity Distribution Curve



Date: April 8, 2024
 Project Number: 18462



Date: April 8, 2024
 RE: Pre-Bid Sign-in sheet
 Project Title: Galego Ct Stair Tower Replacement
 Project Number: 18462

PRE-BID SIGN IN SHEET:

NO.	COMPANY NAME	CONTACT PERSON	PHONE	EMAIL
1	EW BURMAN INC	Bob Dandeneau	401-738-5400	estimating @ ewburman.com
2	W.H. Peppes Inc.	Bill Peppes	401-722-1912	bill@whpeppes.com
3	Red oak Remodeling	Dan Conlan Bill Conlan Katie Conlan	401-413-5252	redoakremodeling@cox.net
4	Pawtucket Housing Authority	Alissa Stipan	401-265-0773	astipan@pawthousing.org
5	Verdantas	Evan Boltrushka	401-649-1121	eboltrushka@verdantas.com
6	PHA	Chris Bostic	401-640-1485	cbostic@pawthousing.org
7				
8				
9				
10				